



Lamorna Casbar 302a Croydon Road, Wallington, Surrey, SM6



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Guide price £780,000

**Cromwells**  
ESTATE AGENTS



# Lamorna Casbar 302a Croydon Road, Wallington, SM6 7LQ

\* NO ONWARD CHAIN \* A rare opportunity to acquire a charming and unique four double bedroom detached family home. Situated on a substantial plot down a private, secluded lane with only three other properties, The property is surrounded by natural beauty and backs directly onto the historic Beddington Park.

The property is only 0.19 miles from Wallington County Grammar School, and Beddington Infants and Holy Trinity Primary School are also close by. Local shops and bus links are within easy reach and both Wallington and Carshalton Village are just a short walk away.

This one of a kind property must be viewed to appreciate its stunning location and the size and space it has to offer.

## Accommodation

UPVC double glazed leaded light door to..

Entrance porch

Quarry tiled flooring, obscure part glazed wooden front door to..

Spacious entrance hall

Ash wood flooring, wall mounted thermostat, fitted storage cupboards, coved ceiling, loft access with pulldown ladder.

Lounge

UPVC double glazed windows and doors to rear aspect, Velux window, covered radiator, Ash wood flooring, Feature cast iron fireplace, open plan to..

Kitchen/diner

Range fitted wooden wall units with matching cupboards and drawers below, granite worktops with inlaid sink and mixer tap, fitted dresser, space for large gas range cooker, Ash wood flooring, integrated fridge, integrated dishwasher, UPVC double glazed bay window and stable door to side, UPVC double glazed window to rear aspect, Velux window and feature port hole window to rear, double panel radiator.

Bedroom one

UPVC double glazed windows to side and rear aspects, single panel radiator, fitted wardrobes and built-in storage with shelving.

Ensuite bathroom

Comprising panel enclosed bath with chrome mixer tap, wash handbasin with chrome taps and storage cupboard below, low-level flush WC, heated chrome towel rail, extractor fan, tiled walls, tiled flooring, obscure UPVC double glazed window to side aspect.

Bedroom two

UPVC double glazed leaded light window to front aspect, fitted wardrobe and built-in storage cupboards, single panel radiator.

Bedroom three

UPVC double glazed window to side aspect, fitted wardrobes, single panel radiator, coved ceiling.

Bedroom four

UPVC double glazed window to side aspect, single panel radiator, coved ceiling, fitted wardrobes with sliding doors.

Shower room

Consisting of tiled cubicle with thermostatic shower, wash handbasin with chrome mixer tap, heated chrome towel rail, tiled flooring, tiled walls, obscure UPVC double glazed window to rear aspect.

Separate WC

Consisting of low-level flush WC and obscure double glazed window to rear aspect.

Large wrap around garden - approximately 90ft Spacious sandstone paved patio area leading to lawn section with mature shrubs and flowers bordering, garden shed, outside tap, fence enclosed, gated side access, and access directly on to the park, walk way to side gardens and access to..

Garage

Up/Over door at front, UPVC double glazed window and door to rear, roll top work surface with sink and mixer tap, space and plumbing for washing machine and tumble dryers.

Front

Sandstone paved driveway providing ample off street parking.

## BUYER'S INFORMATION

Under UK law, estate agents are legally required to conduct Anti-Money Laundering (AML) checks on buyers and sellers to comply with regulations. These checks are mandatory, and estate agents can face penalties if they fail to perform them. We use the services of a third party to help conduct these checks thoroughly. As such there is a charge of £36 including vat, per person. Please note, we are unable to issue a memorandum of sale until these checks are complete

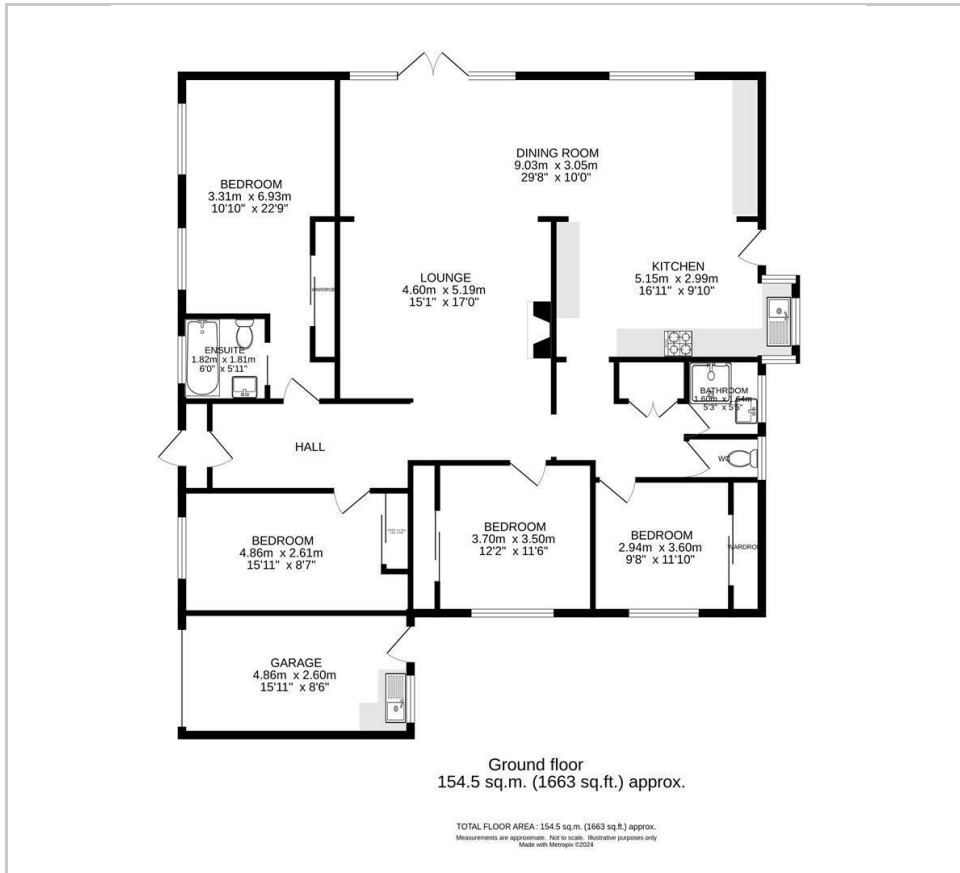








## Floor Plan



## Additional Information

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus) A			
(81-91) B			
(69-80) C			
(55-68) D		69	82
(39-54) E			
(21-38) F			
(1-20) G			
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	

### Viewing

Please contact our Cromwells Office on 0208 647 4422 if you wish to arrange a viewing appointment for this property or require further information.

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